

GENERAL CONSTRUCTION NOTES:

CONSTRUCTION ACCORDING TO THE 2020 RESIDENTIAL CODE OF NEW YORK STATE (USE APPLICABLE NOTES)

1. THE CONSTRUCTOR IS EXPECTED TO FAMILIARIZE HIMSELF WITH THE EXISTING SITE BEFORE STARTING WORK. ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD. DO NOT SCALE DRAWINGS. USE DIMENSIONS GIVEN. ANY DISCREPANCIES OR CHANGES TO THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AT ONCE. IF ANY CONSTRUCTION MATERIALS OR EQUIPMENT IN THESE NOTES ARE INTENDED TO BE CHANGED BY THE CONTRACTOR THE ENGINEER SHALL BE NOTIFIED PRIOR TO THE CHANGES FOR APPROVAL. ALL GUTTER AND FOOTING DRAIN OUTLETS SHALL BE DIRECTED/DISCHARGED FROM SEPTIC SYSTEM.

2. ALL WORK TO BE COMPLETED SHALL CONFORM TO CURENT CODE AND FIRE PREVENTION CODE, AND ANY OTHER APPLICABLE LOCAL CODES. THE OWNER/CONTRACTOR IS RESPONSIBLE TO OBTAIN ANY REQUIRED CONSTRUCTION PERMITS BEFORE STARTING WORK AND SCHEDULING ANY APPLICABLE INSPECTIONS WITH THE BUILDING DEPARTMENT OR THIRD PARTY INSPECTION FIRM.

3. THE CONTRACTOR SHALL REMOVE ALL DEBRIS CREATED BY HIS SCOPE OF WORK.

4. THE DESIGN LOAD ARE AS FOLLOWS:

ITEM	LOADS P.S.F.		ITEM	LOADS P.S.F.	
	LIVE	DEAD		GROUND SNOW LOAD	DEAD LOAD
FLOOR	40	10	ROOF	55	10
ATTIC	20	10			
DECK	45	10			

GROUND SNOW LOAD	WIND SPEED	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FORM				WINTER DESIGN TEMP.	ICE SHIELD UNDERLAYMENT	FLOOD HAZARD
			WEATHERING	FROST DEPTH	TERMITE	DECAY			
50 PSF	115 MPH	C	SEVERE	48 IN.	MODERATE TO HEAVY	SLIGHT TO MODERATE	6	REQUIRED	PER SITE PLAN

5. ALL LUMBER SHALL BE CONSTRUCTION GRADE SPF (Fb = 1,200 PSI) OR EQUAL

6. DOUBLE UP ALL STUDS AT WINDOWS, DOORS, AND HEADERS. DOUBLE UP ALL FLOOR JOISTS, UNDER PARTITIONS PARALLEL TO THEM. ALL FLOOR JOISTS SHALL BE BRACED OR BLOCKED AT MIDSPAN. ALL PLYWOOD SUBFLOORING SHALL BE SCREWED DOWN. PROVIDE ALL FIRE STOPPING AS REQUIRED BY CODE. ANY LUMBER USED FOR DECKS OR EXTERIOR USE SHALL BE PRESSURE TREATED.

7. FOR ALL FOUNDATION AND CONCRETE WORK USE 3000 PSI OR GREATER. ALL REBAR SHALL BE GRADE 60. USE ONLY PRESSURE TREATED SILL PLATES. USE 1/2" X 12" ANCHOR BOLTS AT 6'-0" O.C., 12" FROM CORNERS OR SPLICES. FOR ALL CONCRETE BLOCK MASONRY USE DURO-WALL EVERY OTHER COURSE, TOP COURSE TO BE SOLID. MINIMUM SOIL BEARING CAPACITY SHALL BE 1500 P.S.F.

8. ALL FOOTINGS SHALL BE 20"x10" DEEP (UNLESS OTHERWISE NOTED ON PLANS) POURED CONCRETE ON UNDISTURBED SOIL WITH #4 (AMOUNT/SPACING DESIGNATED ON PLANS) AT FOOTING BOTTOM. ALL 4" FOOTING DRAINS SHALL BE BEDDED IN 3/4" SIZE STONE - MINIMUM W/FABRIC COVER. ALL POURED CONCRETE FOOTINGS TO BE FORMED, PLACED ON UNDISTURBED SOIL, 48" BELOW GRADE. FOOTING SHALL NOT TO BE PLACED ON FROZEN GROUND OR SOIL NOT MAINTAINING MINIMUM SOIL BEARING CAPACITY. IF SOIL DOES NOT MEET THIS CRITERIA, THIS SOIL SHALL BE REPLACED WITH APPROVED STRUCTURAL BACKFILL. CONTRACTOR SHALL IMMEDIATELY CONTACT ENGINEER IF NONSUITABLE SOILS ARE ENCOUNTERED.

9. USE JOIST HANGERS FOR ANY LUMBER FRAMED FLUSH WITH A BEAM. USE ONLY GALVANIZED ITEMS FOR EXTERIOR USE. PROVIDE CROSS BRACING OR SOLID BLOCKING BETWEEN ALL JOISTS. PROVIDE DOUBLE JOISTS UNDER COLUMNS THAT FALL ABOVE IT. ALL OTHER NAILS, FASTENERS, HANGERS, ETC. SHALL MEET GENERALLY ACCEPTED INDUSTRY STANDARDS.

10. FOR EXTERIOR WORK USE ALUMINUM STEP FLASHING AT THE INTERSECTION OF ALL ROOFS AND WALLS. OVERLAP ROOF SHINGLES AT ALL VALLEYS AND HIPS IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS. FOR ALL VALLEYS AND EAVES, LINE WITH WEATHERGUARD (OR EQUIVLENT) NAILABLE ICE SHIELD BEFORE INSTALLING SHINGLES. VAPOR BARRIER SHALL BE PROVIDED WHERE INSULATION IS CAPABLE OF ABSORBING MOISTURE.

11. ALL ITEMS NOT SPECIFICALLY NOTED IN THESE PLANS INCLUDING FLOOR, PAINT, FINISH CARPENTRY, PLUMBING FIXTURES, ELECTRICAL LIGHT FIXTURES, ETC. SHALL BE DISCUSSED AND NOTED WITH THE OWNERS BEFORE BEGINNING WORK.

12. ALL INTERIOR WALLS SHALL BE 2 x 4 STUDS @ 16" O.C. UNLESS OTHERWISE NOTED. ALL INTERIOR WALLS SHALL BE FINISHED WITH 1/2" GYP. BD., SPACKLED, TAPED AND FINISHED, UNLESS OTHERWISE NOTED. ALL EXTERIOR WALLS SHALL 2 X 6 STUDS AT 16" O.C. (REFER TO TYPICAL WALL DETAILS FOR SPECIFICATIONS).

13. ALL ELECTRICAL WORK SHALL CONFORM TO THE LATEST APPROVED CODE. ALL ELECTRICAL WORK SHALL BE INSPECTED AT THE ROUGH AND FINAL STAGES OF THE CONSTRUCTION. ALL SMOKE DETECTORS ARE TO BE HARD WIRED & INTERCONNECTED.

14. ALL PLUMBING WORK SHALL CONFORM TO THE LASTEST CODE WITH REGARDS TO THE SIZING OF SUPPLY, VENT, AND WASTE LINES.

15. ALL EXTERIOR WINDOW AND DOOR HEADERS SHALL BE (3) 2" X 10" UNLESS NOTED OTHERWISE.

16. ALL INTERIOR WINDOW AND DOOR HEADERS SHALL BE (2) 2" X 10" WITH 3/4" PLYWOOD UNLESS NOTED OTHERWISE.

17. 2" X 6" COLLAR TIES SHALL BE PROVIDED IN ALL AREAS WHERE STRUCTURAL RIDGE IS NOT NOTED.

PIPING SHALL BE SIZED AS FOLLOWS:

FIXTURE	CW	HW	WASTE	VENT
SINK/LAV.	1/2"	1/2"	1 1/2"	1 1/2"
TOILET	1/2"		3"	2"
SHOWER	1/2"	1/2"	2"	1 1/2"
DISH WASHER	1/2"	1/2"	1 1/2"	1 1/2"
WASHER	1/2"	1/2"	2"	1 1/2"

NOTE: CONSISTENCY SHALL SHOW BETWEEN FIXTURE OUTLET SIZE AND DRAIN SIZE, 3" MINIMUM, AT ALL TIMES

18. ALL GARAGE WALLS/CEILING SHALL HAVE A 3/4 HOUR FIRE RATING, 5/8" FIRE SHIELD G GYPSUM WALL BOARD WHICH ARE ADJACENT TO HOUSE. DOOR INTO HOUSE TO BE 3/4 HOUR, FIRE RATED, SELF CLOSING.

19. UTILITY ROOM SHALL BE VENTED TO THE EXTERIOR TO PROVIDE MINIMUM FRESH AIR REQUIRED FOR COMBUSTION BY HEATING UNIT MANUFACTURER.

20. RECESSED LIGHTING FIXTURES SHALL BE SEALED TO PREVENT AIR SEAPAGE OR LEAKAGE.

21. FOR INTERIOR SIDE OF FRAME WALLS, FLOORS, AND CEILINGS, VAPOR RETARDERS SHALL BE INSTALLED.

22. ALL ELECTRIC SHALL COMPLY TO CHAPTERS 34-43 OF THE 2020 NYS RESIDENTIAL CODE.

23. GRAVITY OR AUTOMATIC DAMPERS FOR ALL OUTDOOR AIR INTAKES AND EXHAUSTS SHALL CLOSE WHEN VENTILATION SYSTEM IS NOT OPERATING.

24. HIGH-EFFICIENCY LAMPS SHALL SHALL ACCOUNT FOR 50% OF PERMANANTLY INSTALLED LIGHTING FIXTURES.

25. R-8 INSULATION IS REQUIRED FOR ALL SUPPLY DUCTS IN ATTICS. ALL OTHER DUCTS SHALL BE INSULATED WITH R-6 OR GREATER.

22. DWELLING SHALL COMPLY WITH TIGHTNESS AND INSULATION REQUIREMENTS ILLUSTRATED IN THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE. ATTIC ACCESS SHALL BE INSULATED AND WEATHERSTRIPPED TO LEVEL EQUIVALENT TO INSULATION LEVEL TO SURROUNDING SURFACES. BAFFLES SHALL BE PROVIDED TO PREVENT LOOSE FILL INSULATION FROM SPILLING TO LIVABLE SPACE.

23. THESE PLANS HAVE BEEN PREPARED OR MODIFIED AND REVIEWED UNDER MY DIRECT SUPERVISIONS AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT, SUCH PLANS FOR SPECIFICATIONS ARE IN COMPLIANCE WITH THE 2020 RESIDENTIAL CONSTRUCTION CODE OF NEW YORK STATE AND THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE. (SEE REScheck ATTACHED FOR COMPLIANCE)

NOTE: THESE PLANS MEET THE REQUIREMENTS AND CONFORM WITH THE 2020 RESIDENTIAL CONSTRUCTION CODE OF NEW YORK STATE AND THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE.

DRAWING SHEETS

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FRONT ELEVATION
Scale: 1/4" = 1'-0"

LIVABLE AREA SQUARE FOOTAGE

FIRST FLOOR - 2075 SQ. FT.
SECOND FLOOR - 1438 SQ. FT.
TOTAL - 3513 SQ. FT.



33'-0" OVERALL FRONT YARD HEIGHT

Project Title:
RESIDENCE FOR NIKO ATONAKOS & MELINDA NEZAJ LAKE SIDE ESTATES, LOT #3 TOWN OF BEEKMAN, NY DUTCHESS COUNTY

Sheet Title:
FRONT ELEVATION & GENERAL CONSTRUCTION DRAWING NOTES



Seal:
Designer/ Engineer:
Jonathan Cella, P.E.
51 Hunt Road
Walkill, New York, 12589
(845) 741-0363
N.Y.S. P.E. License #: 085069

Date:
8/30/2021

Sheet Number:
A-1

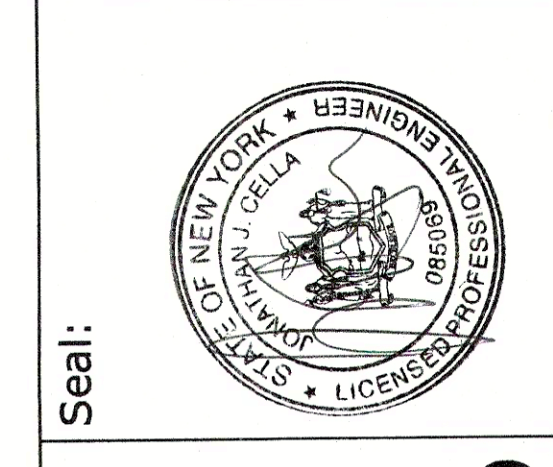


REAR ELEVATION

Scale: 1/4" = 1'-0"

Project Title:
**RESIDENCE FOR NIKO
 ATONAKOS & MELINDA NEZAJ
 LAKE SIDE ESTATES, LOT #3
 TOWN OF BEEKMAN, NY
 DUTCHESS COUNTY**

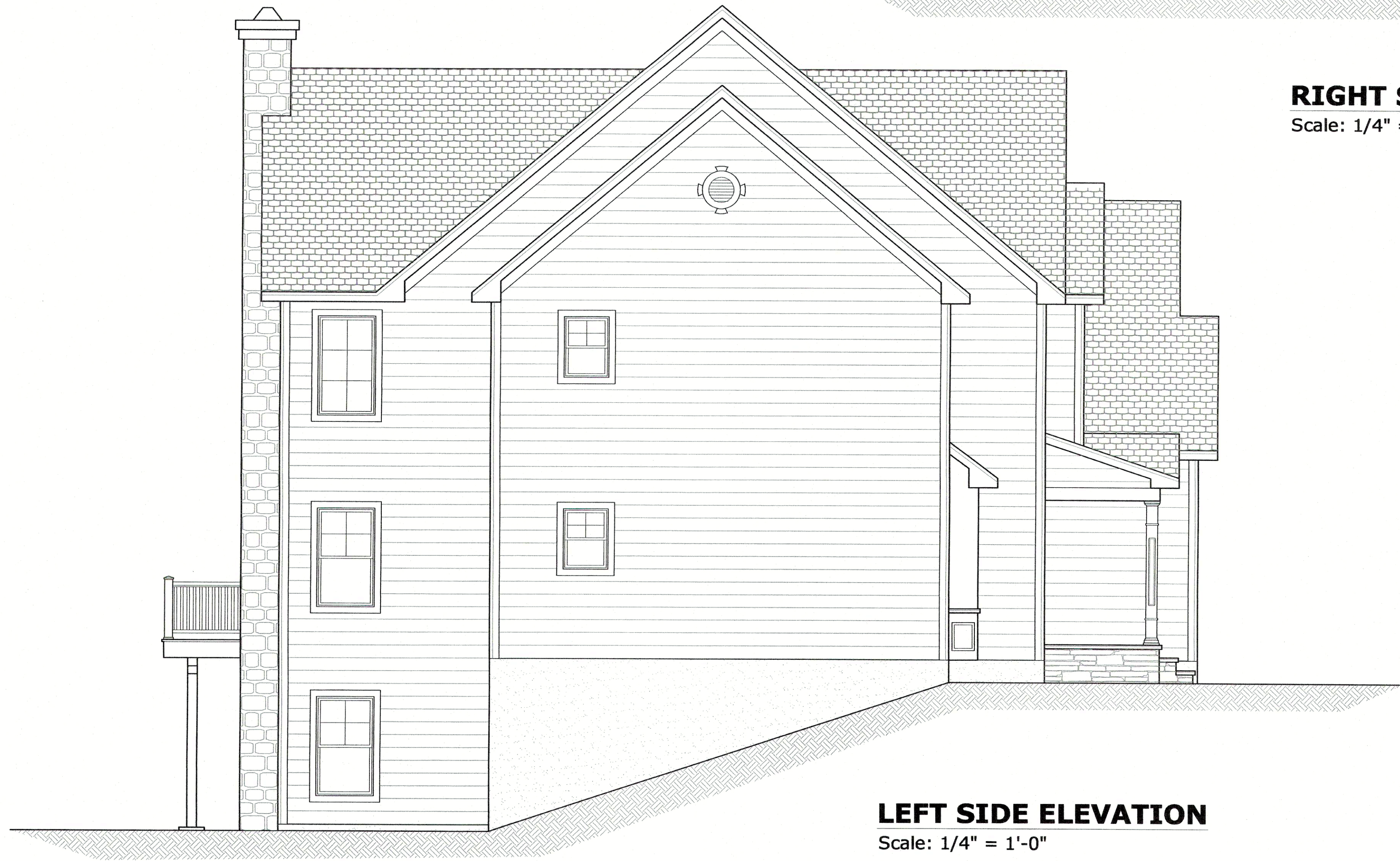
Sheet Title:
REAR ELEVATION



Designer/ Engineer:
**Jonathan Cella, P.E.
 51 Hunt Road
 Wallkill, New York, 12589
 (845) 741-0363
 N.Y.S. P.E. License #: 085069**

Date:
8/30/2021

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LEFT SIDE ELEVATION
Scale: 1/4" = 1'-0"



RIGHT SIDE ELEVATION
Scale: 1/4" = 1'-0"

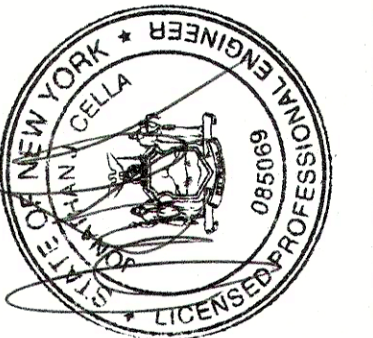
Designer/ Engineer:
Jonathan Cella, P.E.
 51 Hunt Road
 Walkill, New York, 12589
 (845) 741-0363
 N.Y.S. P.E. License #: 085069

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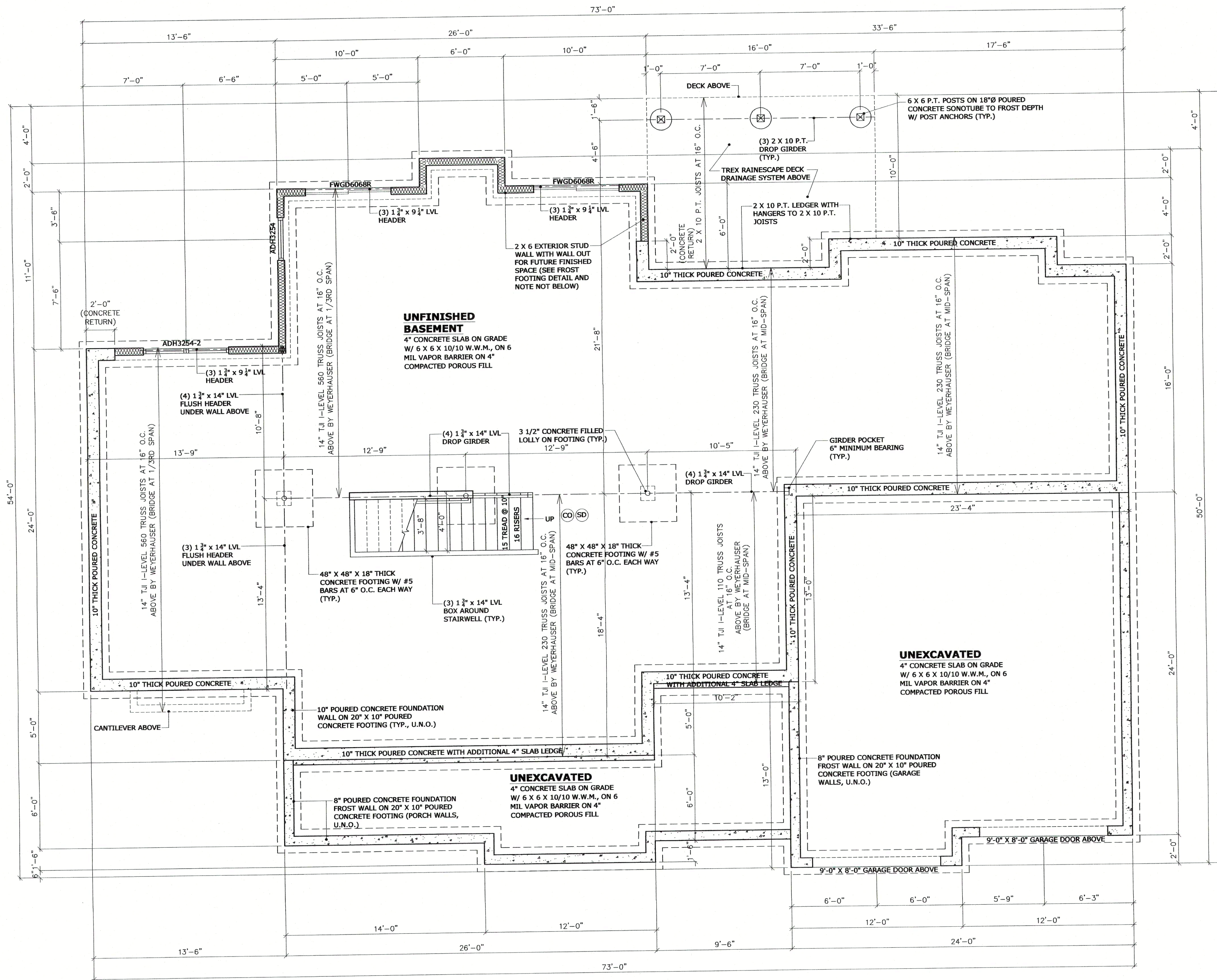
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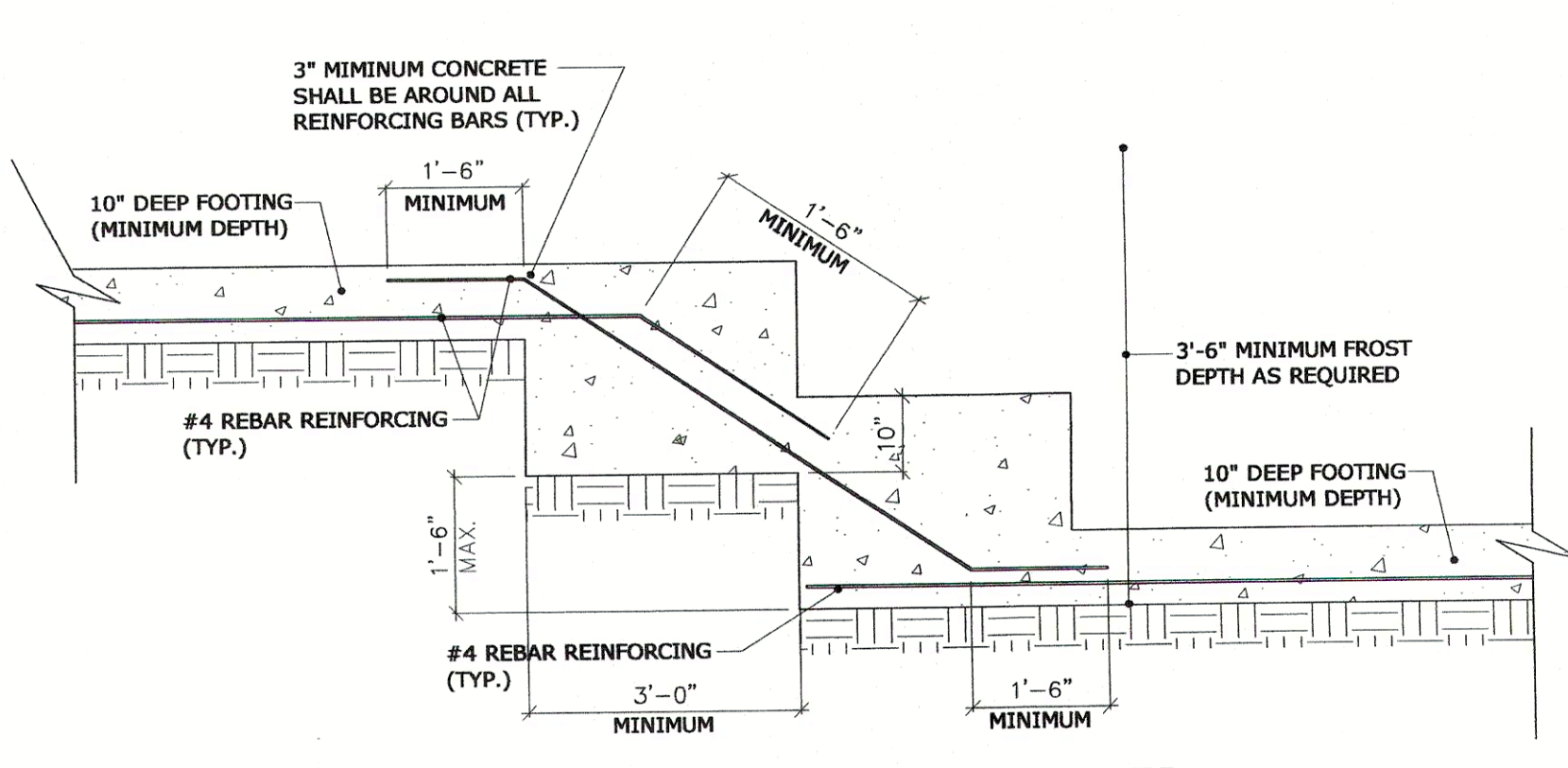
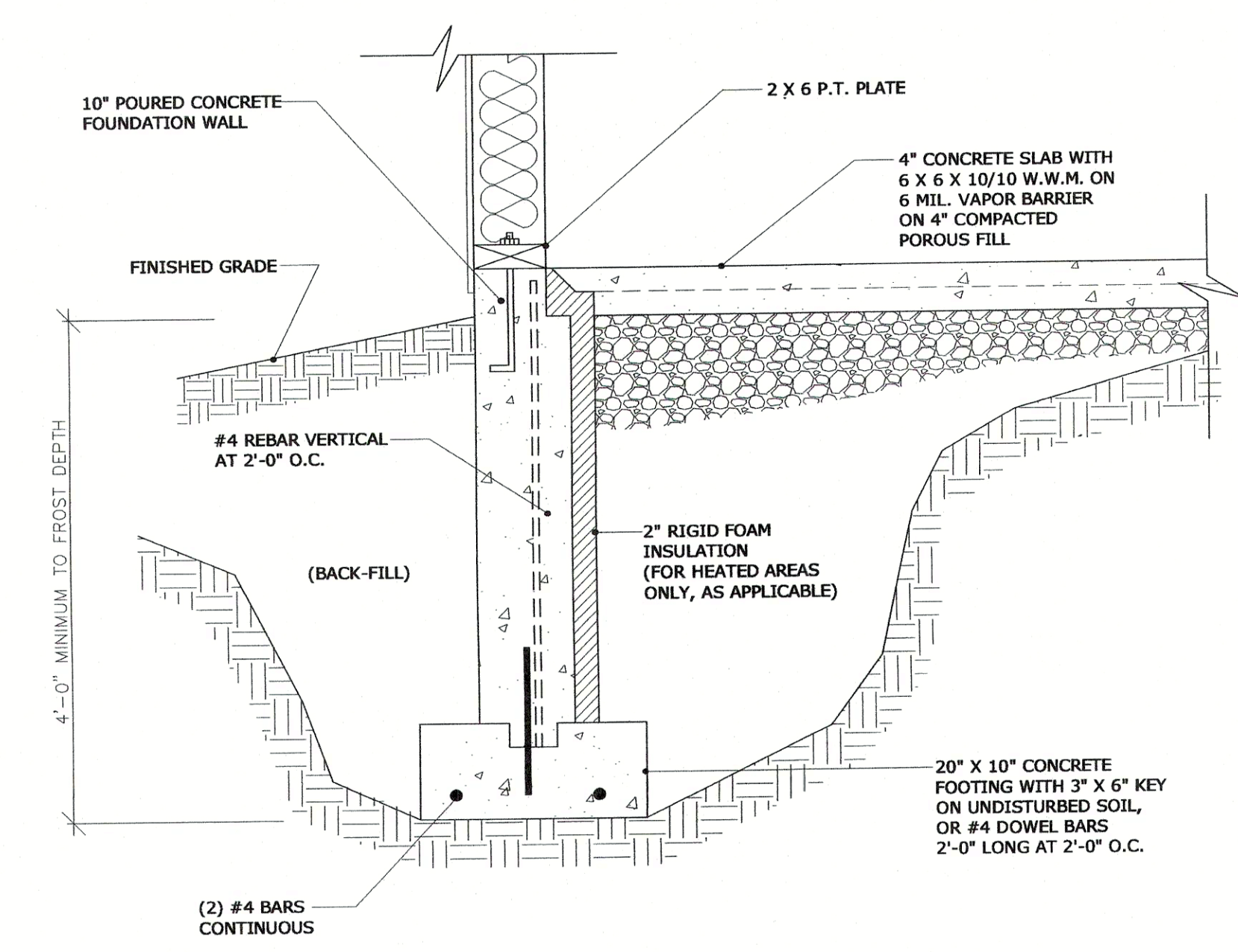
Sheet Title:
SIDE ELEVATIONS

Project Title:
**RESIDENCE FOR NIKO
 ATONAKOS & MELINDA NEZAJ
 LAKE SIDE ESTATES, LOT #3
 TOWN OF BEEKMAN, NY
 DUTCHESS COUNTY**



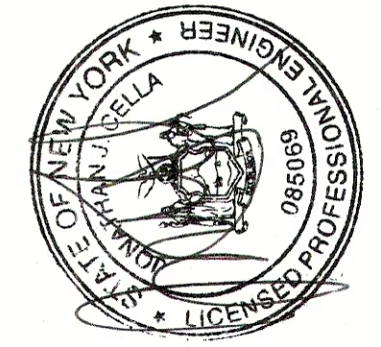
LEGEND

	CONCRETE FOUNDATION WALL		SMOKE DETECTOR (IN EACH SLEEPING ROOM, OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS / CLEARS) ALL ALARM DEVICES SHALL BE HARD WIRED AND INTER-CONNECTED
	6" WALL WITH REQUIRED INSULATION, R-21, (FOR HEATED AREAS)		CARBON MONOXIDE DETECTOR (THE REQUIRED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN THE IMMEDIATE VICINITY OF THE BEDROOMS ON THE LOWEST FLOOR LEVEL OF THE DWELLING UNIT)
	6" EXTERIOR/INTERIOR WALL, UNINSULATED		HEAT DETECTOR (IN ATTACHED GARAGES) SHALL BE HARD WIRED, INTER-CONNECTED, AND INSTALLED PER MANUFACTURERS SPECIFICATIONS
	4" WALL WITH REQUIRED INSULATION, R-13 (FOR HEATED AREAS)		MECHANICAL VENT TO EXTERIOR
	4" INTERIOR WALL, UNINSULATED		
	HALF-WALL (SIZE INDICATED ON DWGS)		
	SOLID POST UNDER GIRDER ENDS		
	GIRDER		



Project Title:
RESIDENCE FOR NIKO ATONAKOS & MELINDA NEZAJ LAKE SIDE ESTATES, LOT #3 TOWN OF BEEKMAN, NY DUTCHESS COUNTY

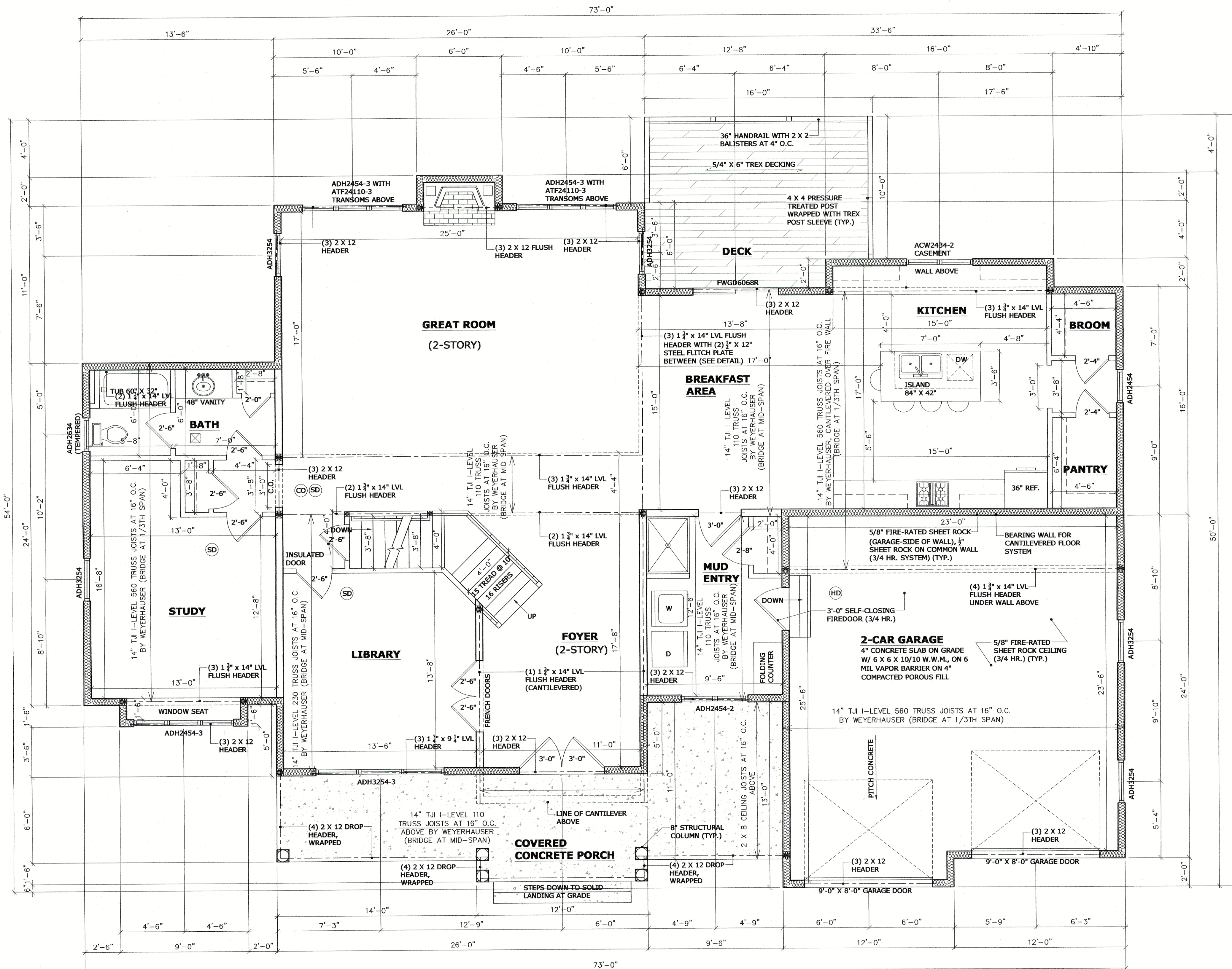
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FOUNDATION PLAN



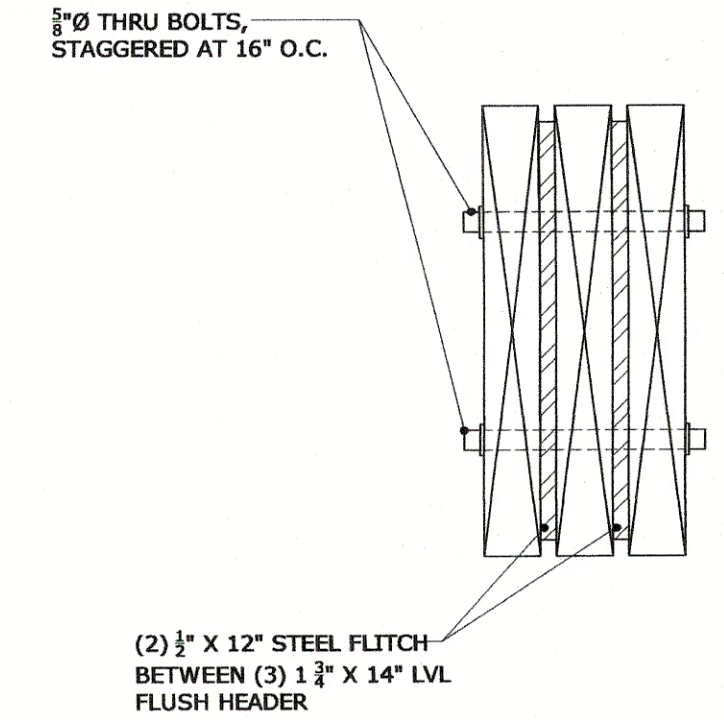
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51 Hunt Road
Walkill, New York, 12589
(845) 741-0363
N.Y.S. P.E. License #: 085069

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LEGEND			
	CONCRETE FOUNDATION WALL		SMOKE DETECTOR (IN EACH SLEEPING ROOM, OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS / CLEARS) ALL ALARM DEVICES SHALL BE HARD WIRED AND INTER-CONNECTED
	6" WALL WITH REQUIRED INSULATION, R-21, (FOR HEATED AREAS)		CARBON MONOXIDE DETECTOR (THE REQUIRED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN THE IMMEDIATE VICINITY OF THE BEDROOMS ON THE LOWEST FLOOR LEVEL OF THE DWELLING UNIT)
	6" EXTERIOR/INTERIOR WALL, UNINSULATED		HEAT DETECTOR (IN ATTACHED GARAGES) SHALL BE HARD WIRED, INTER-CONNECTED, AND INSTALLED PER MANUFACTURER'S SPECIFICATIONS
	4" WALL WITH REQUIRED INSULATION, R-13 (FOR HEATED AREAS)		MECHANICAL VENT TO EXTERIOR
	4" INTERIOR WALL, UNINSULATED		
	HALF-WALL (SIZE INDICATED ON DWGS)		
	SOLID POST UNDER GIRDER ENDS		
	GIRDER		



FLUSH HEADER DETAIL AT BREAKFAST AREA
Scale: 2" = 1'-0"

FIRST FLOOR PLAN

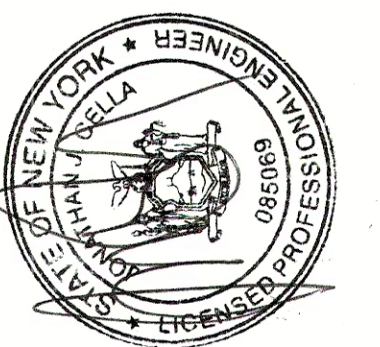
Scale: 1/4" = 1'-0"

NOTES:

- 1.) 9'-0" FIRST FLOOR CEILING HEIGHT, UNLESS NOTED OTHERWISE ON PLANS
- 2.) WINDOWS ARE ANDERSEN A-SERIES. WINDOW HEADER HEIGHT IS 6'-8". THE ADH3254 WINDOWS EXCEED NYS EGRESS REQUIREMENTS OF 5.7 SQ FT. OF CLEAR OPENABLE AREA, CLEAR OPENABLE WIDTH OF 20", AND CLEAR OPENABLE HEIGHT OF 24". WINDOWS SHALL HAVE A U-FACTOR OF 0.30 OR LESS (SEE RESCHECK)
- 3.) FOR HORIZONTAL SEPARATIONS, ONE LAYER OF 5/8" TYPE-X GYPSUM BOARD SHALL BE INSTALLED NO OPENINGS. THEREFORE, ALL BEAMS, GIRDERS, AND OTHER SUPPORTING MEMBERS SHALL BE PROTECTED BY ONE LAYER OF 5/8" TYPE-X GYPSUM BOARD AS WELL.
- 4.) CLOTHES DRYERS SHALL BE EXHAUSTED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS, AND EXHAUSTS SYSTEMS SHALL BE INDEPENDENT OF ALL OTHER SYSTEMS. THE EXHAUST SYSTEMS SHALL CONVEY THE MOISTURE AND ANY PRODUCTS OF COMBUSTION TO THE OUTSIDE OF THE BUILDING.

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RESIDENCE FOR NIKO ATONAKOS & MELINDA NEZAJ LAKE SIDE ESTATES, LOT #3 TOWN OF BEEKMAN, NY DUTCHESS COUNTY

Sheet Title:
FIRST FLOOR PLAN



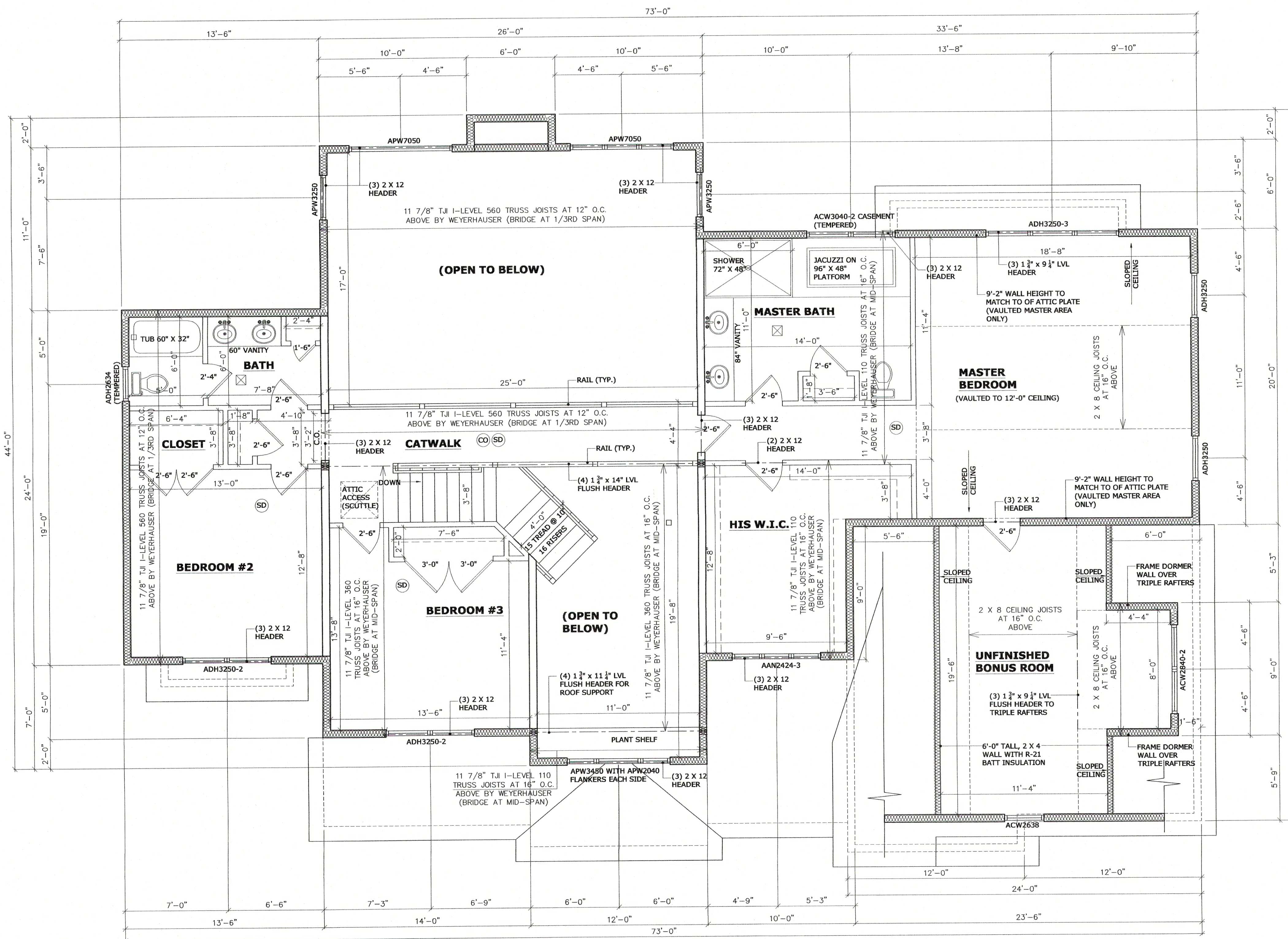
Seal:

Designer/ Engineer:
Jonathan Cella, P.E.
51 Hunt Road
Walkill, New York, 12589
(845) 741-0363
N.Y.S. P.E. License #: 085069

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LEGEND	
	CONCRETE FOUNDATION WALL
	6" WALL WITH REQUIRED INSULATION, R-21, (FOR HEATED AREAS)
	6" EXTERIOR/INTERIOR WALL, UNINSULATED
	4" WALL WITH REQUIRED INSULATION, R-13 (FOR HEATED AREAS)
	4" INTERIOR WALL, UNINSULATED
	HALF-WALL (SIZE INDICATED ON DWGS)
	SOLID POST UNDER GIRDER ENDS
	GIRDER
	SMOKE DETECTOR (IN EACH SLEEPING ROOM, OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS / C/LEAR) ALL ALARM DEVICES SHALL BE HARD WIRED AND INTER-CONNECTED
	CARBON MONOXIDE DETECTOR (THE REQUIRED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN THE IMMEDIATE VICINITY OF THE BEDROOMS ON THE LOWEST FLOOR LEVEL OF THE DWELLING UNIT)
	HEAT DETECTOR (IN ATTACHED GARAGES) SHALL BE HARD WIRED, INTER-CONNECTED, AND INSTALLED PER MANUFACTURERS SPECIFICATIONS
	MECHANICAL VENT TO EXTERIOR

SECOND FLOOR PLAN

Scale: 1/4" = 1'-0"

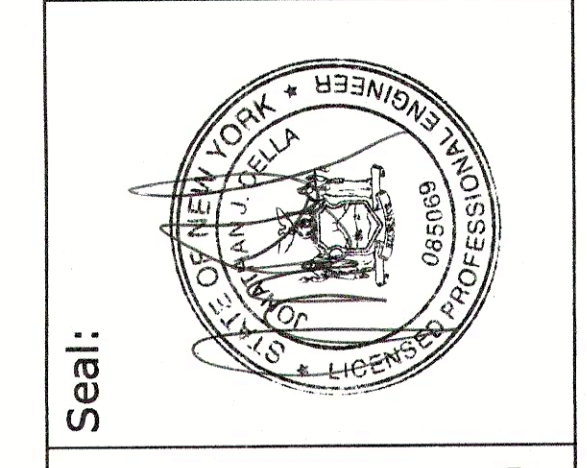
NOTES:

1.) 8'-0" SECOND FLOOR CEILING HEIGHT, UNLESS NOTED OTHERWISE ON PLANS

2.) WINDOWS ARE ANDERSEN A-SERIES. WINDOW HEADER HEIGHT IS 6'-8". THE ADH3250 WINDOWS EXCEED NYS EGRESS REQUIREMENTS OF 5.7 SQ. FT. OF CLEAR OPENABLE AREA, CLEAR OPENABLE WIDTH OF 20", AND CLEAR OPENABLE HEIGHT OF 24". WINDOWS SHALL HAVE A U-FACTOR OF 0.30 OR LESS (SEE RESCHECK)

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SECOND FLOOR PLAN

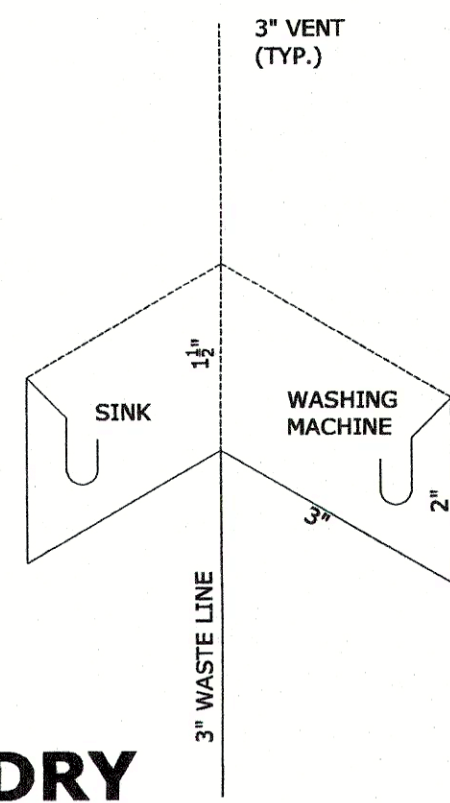


Designer/ Engineer:
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 51 Hunt Road
 Walkill, New York, 12589
 (845) 741-0363
 N.Y.S. P.E. License #: 085069

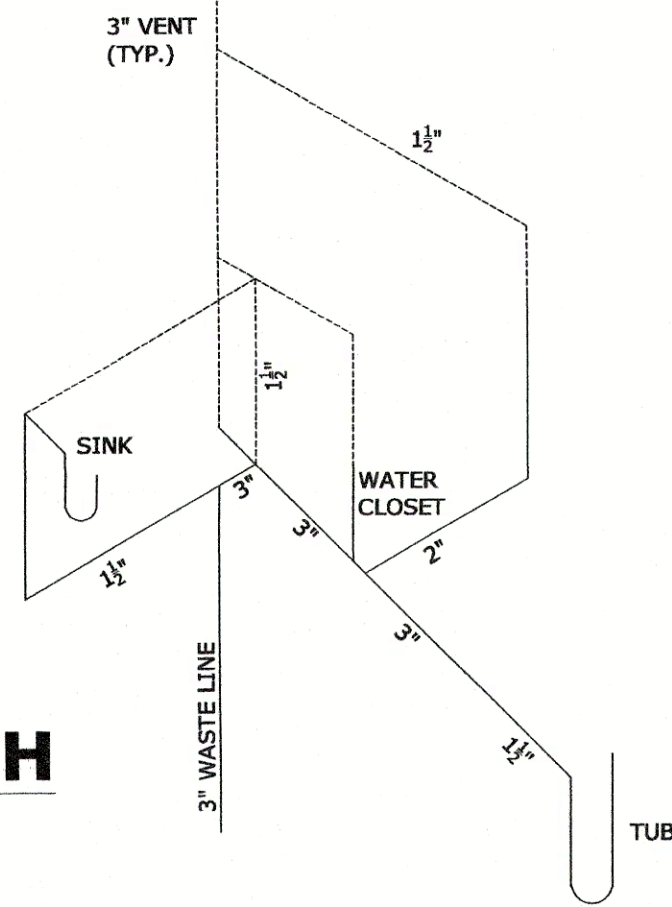
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LAUNDRY



BATH

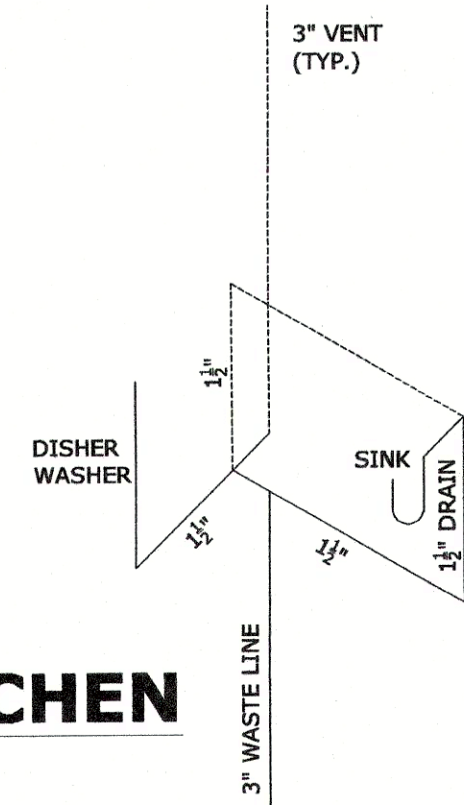


PLUMBING SCHEMATIC

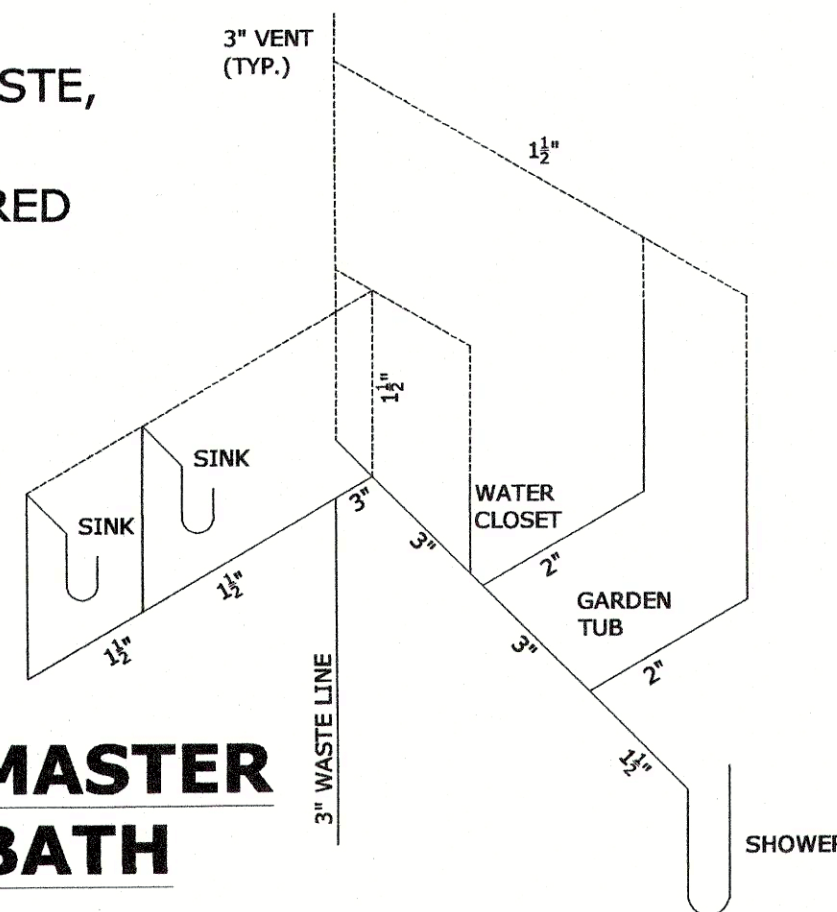
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NOTES:

- 1.) FIXTURE AND DRAIN OUTLETS SHALL BE 3" MINIMUM, CONSISTANT PER NEW YORK STATE CODE. PLUMBING TO TIE INTO SEWER OR SEPTIC.
- 2.) TRAPS TYPICAL FOR ALL TOILETS PER NYS CODE.
- 3.) AS PER SECTION P3103.1.1 IN THE CURRENT 2020 RESIDENTIAL CODE OF NEW YORK STATE, EVERY RESIDENCE SHALL HAVE AT LEAST ONE VENT STACK WHICH EXTENDS NO MORE THAN 18" ABOVE THE ROOF. THE VENT SHALL RUN UNDIMINISHED IN SIZE, 3", AND AS DIRECTLY AS POSSIBLE FROM THE BUILDING DRAIN THROUGH TO THE OPEN AIR ABOVE THE ROOF.
- 4.) ALL WASTE LINES SHALL HAVE A MINIMUM 1/4" PER FOOT SLOPE
- 5.) ALL VENT AND WASTE LINES SHALL BE SCHEDULE 40 ABS
- 6.) WATER TESTING IS REQUIRED ON ALL WASTE, VENT, AND DRAIN PIPES.
- 7.) WATER HAMMER ARRESTORS ARE REQUIRED ON ALL WATER LINES IN ACCORDANCE WITH SECTION P2903.5 OF THE 2020 RESIDENTIAL CODE OF NEW YORK STATE.

KITCHEN

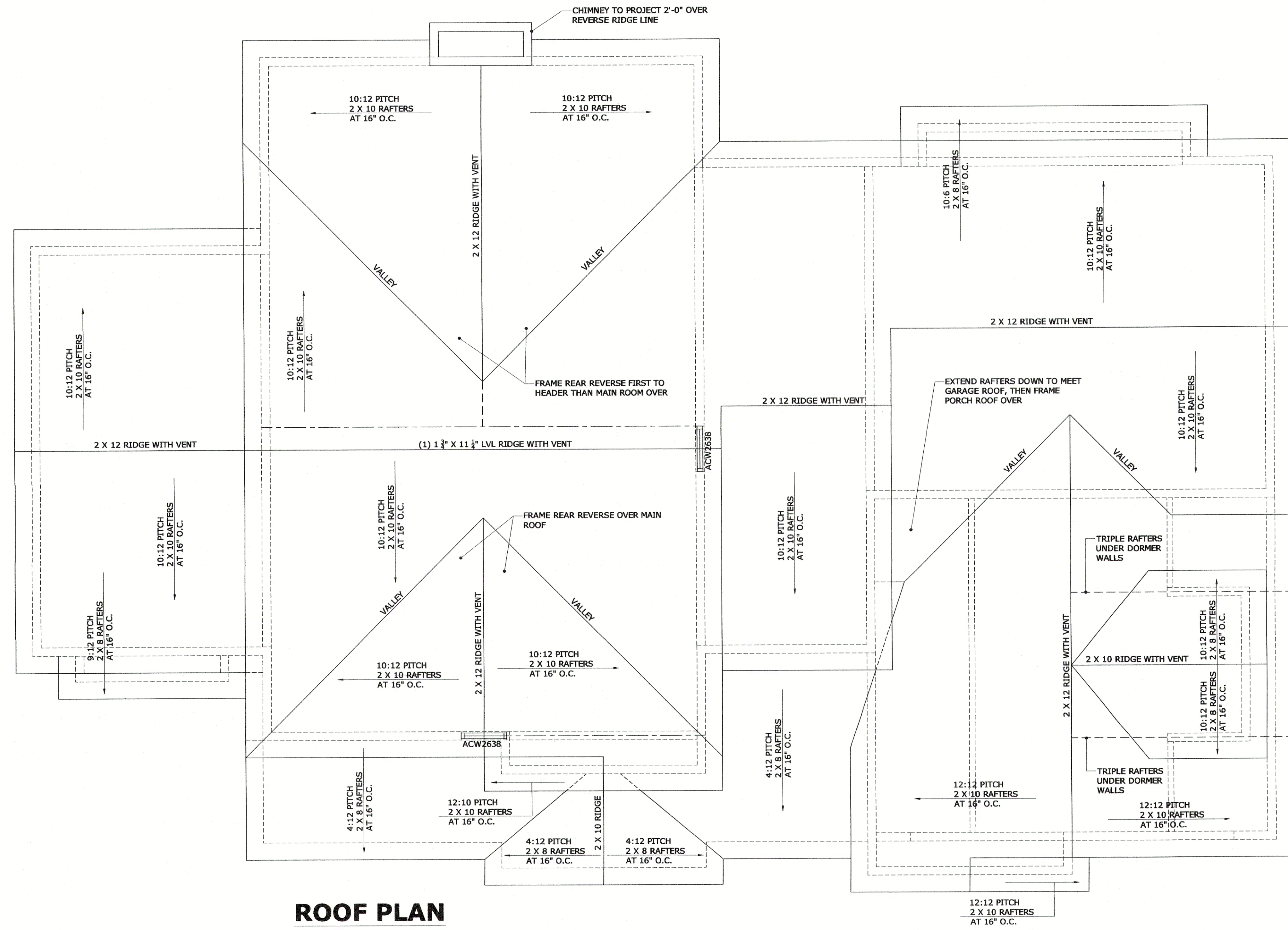


MASTER BATH



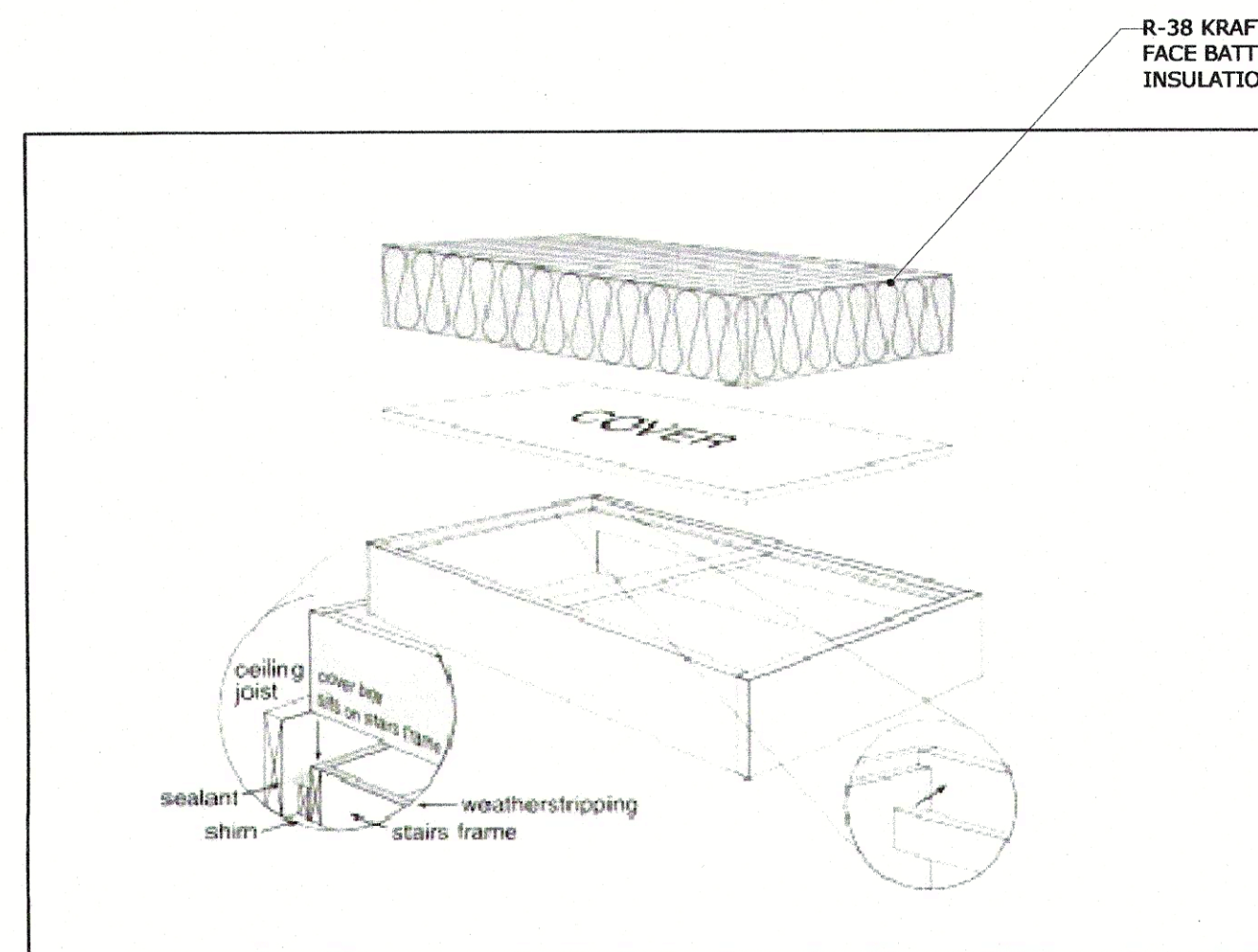
ATTIC APPLIANCE NOTES

1. THE ATTIC OPENING (PASSAGEWAY) MUST HAVE A CLEAR UNOBSTRUCTED VIEW LARGE ENOUGH TO REMOVE AND REPLACE ALL APPLIANCES LOCATED IN THE ATTIC.
2. SOLID PLYWOOD FLOORING SURFACE SHALL BE PLACED ON THE ATTIC FLOOR JOISTS IN ACCORDANCE WITH M1305.1.3 OF THE 2015 IRC.
3. THE WALKING SURFACE SHALL EXTEND FROM THE ATTIC ACCESS TO THE APPLIANCE AND EXTEND A MINIMUM OF 2' BEYOND THE EDGE OF ALL APPLIANCES FOR MAINTENANCE PURPOSES.
4. THE ATTIC FLOOR INSULATION SHALL NOT BE COMPRESSED. SLEEPERS SHALL BE PROVIDED UNDER ALL PLYWOOD FLOORING IF INSULATION EXTENDS ABOVE TOP OF ATTIC FLOOR JOISTS.



ROOF PLAN

Scale: 1/4" = 1'-0"



INSULATION AT ATTIC PULL DOWN DETAIL

MECHANICAL VENTILATION:

1. A WHOLE HOUSE MECHANICAL VENTILATION SYSTEM SHALL BE PROVIDED.
2. THE WHOLE HOUSE MECHANICAL VENTILATION SYSTEM SHALL PROVIDE OUTDOOR AIR AT A CONTINUOUS RATE OF NOT LESS THAN 75 CFM.
3. A HONEYWELL ENERGY RECOVERY VENTILATOR, MODEL VNH5E1000 200 CFM THREE (3) SPEED TOP PORT OR APPROVED EQUAL SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
4. THE WHOLE HOUSE MECHANICAL VENTILATION SYSTEM IS PERMITTED TO OPERATE INTERMITTENTLY WHERE THE SYSTEM HAS CONTROLS THAT ENABLE OPERATION FOR NOT LESS THAN 25-PERCENT OF EACH 4-HOUR SEGMENT AND THE VENTILATION RATE NOTED ABOVE IS MULTIPLIED BY THE FACTOR DETERMINED IN ACCORDANCE WITH TABLE 1507.3.3(1).
5. THE SYSTEM SHALL CONSIST OF ONE OR MORE SUPPLY OR EXHAUST FANS, OR A COMBINATION OF SUCH, AND ASSOCIATED DUCTS AND CONTROLS.
6. OUTDOOR AIR DUCTS CONNECTED TO THE RETURN SIDE OF AN AIR HANDLER SHALL BE CONSIDERED AS PROVIDING SUPPLY VENTILATION IF APPLICABLE.

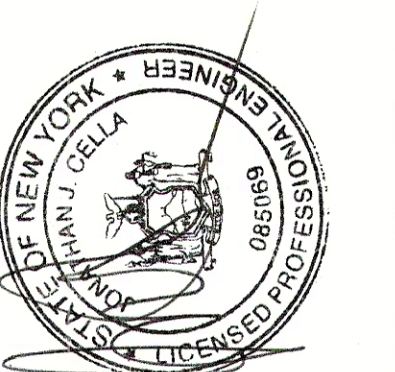
Project Title:

RESIDENCE FOR NIKO
ATONAKOS & MELINDA NEZAJ
LAKE SIDE ESTATES, LOT #3
TOWN OF BEEKMAN, NY
DUTCHESS COUNTY

Sheet Title:

ROOF PLAN & PLUMBING
SCHEMATIC

Seal:



Designer/ Engineer:

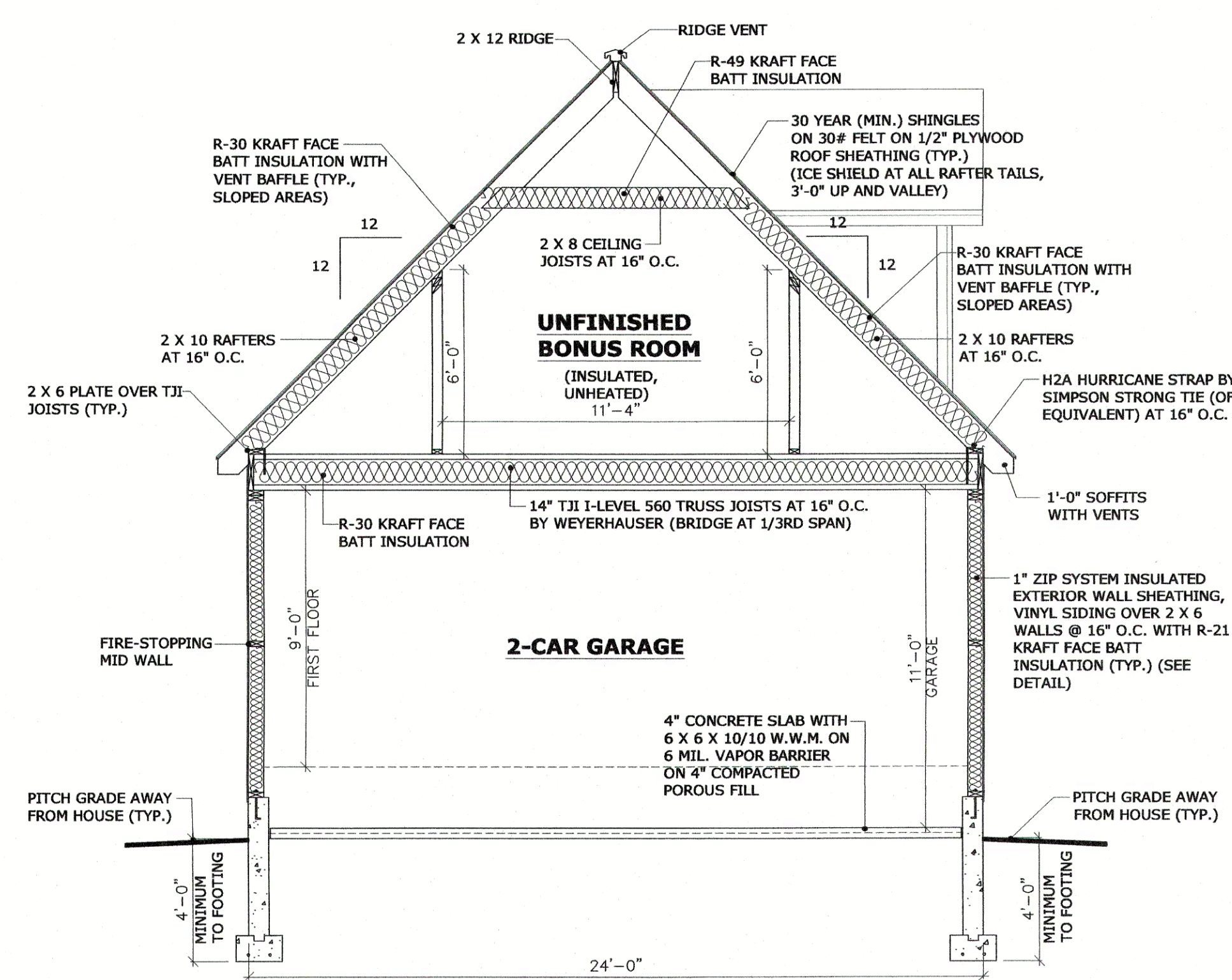
Jonathan Cella, P.E.
51 Hunt Road
Walkill, New York, 12589
(845) 741-0363
N.Y.S. P.E. License #: 085069

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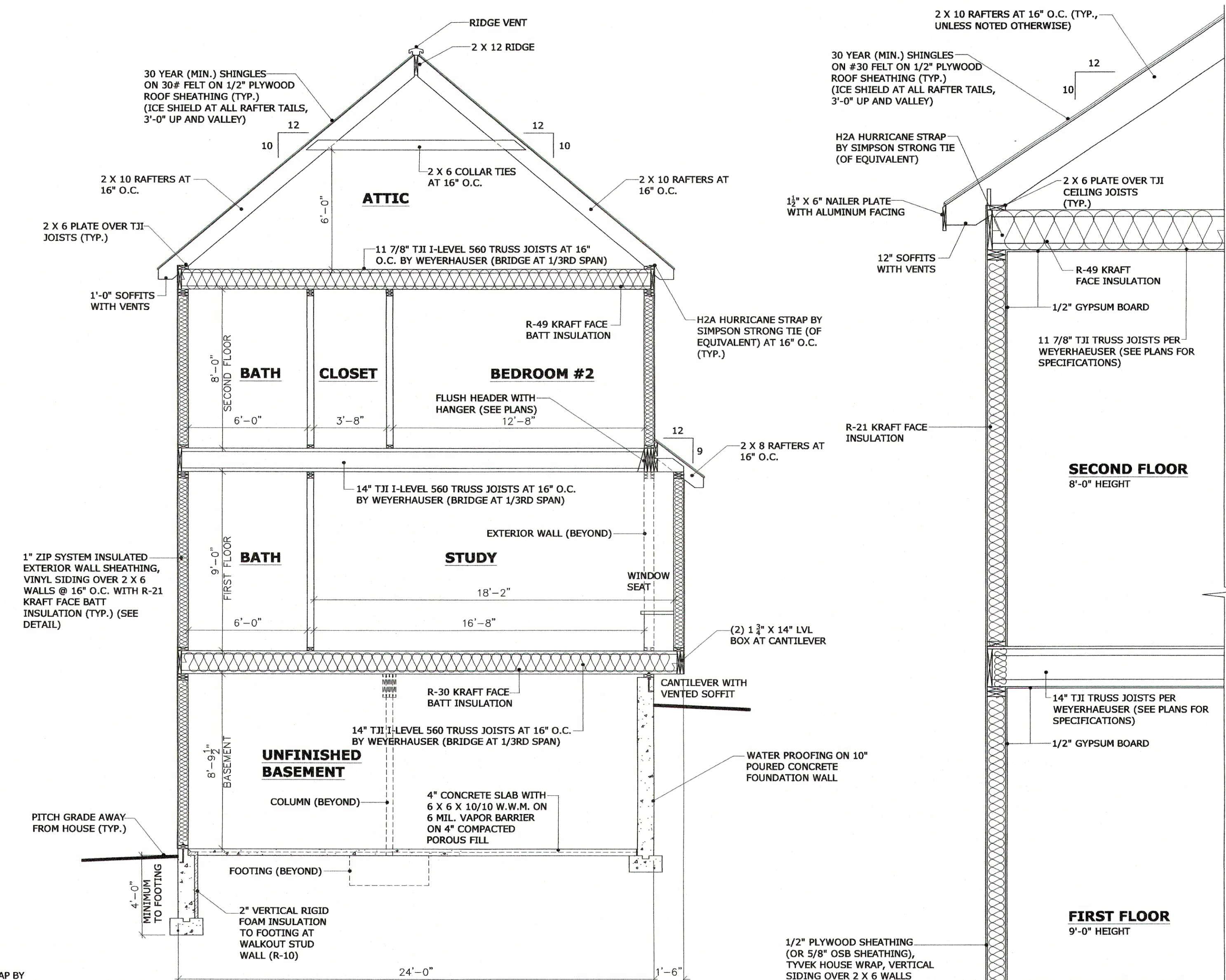
8/30/2021

Sheet Number:

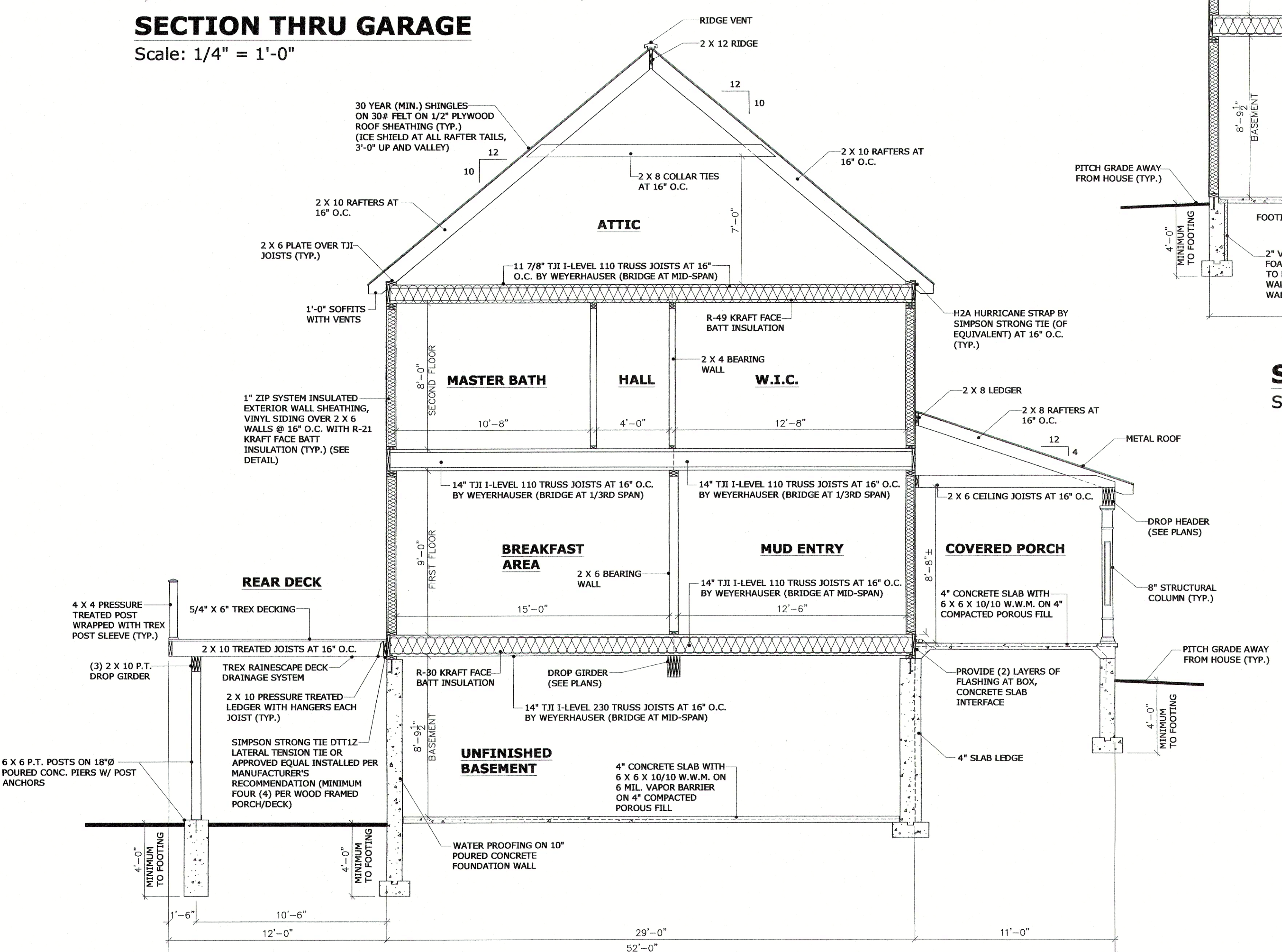
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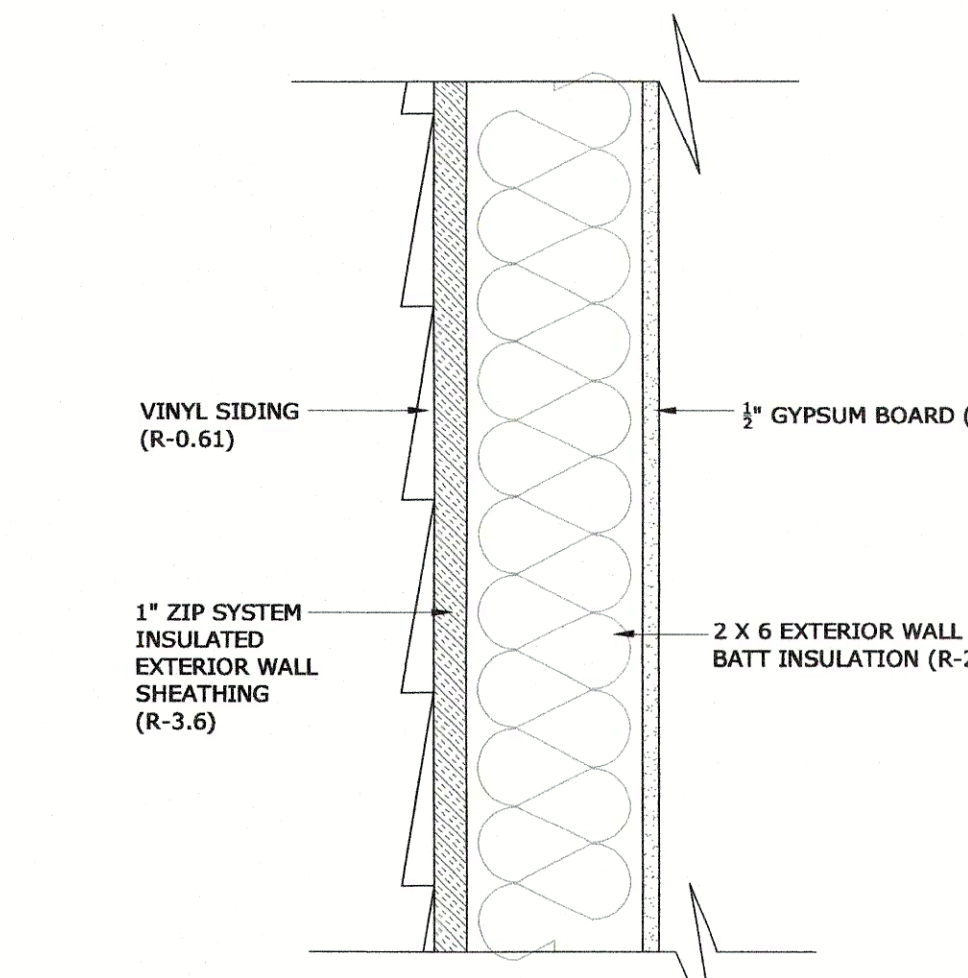
SECTION THRU GARAGE
Scale: 1/4" = 1'-0"



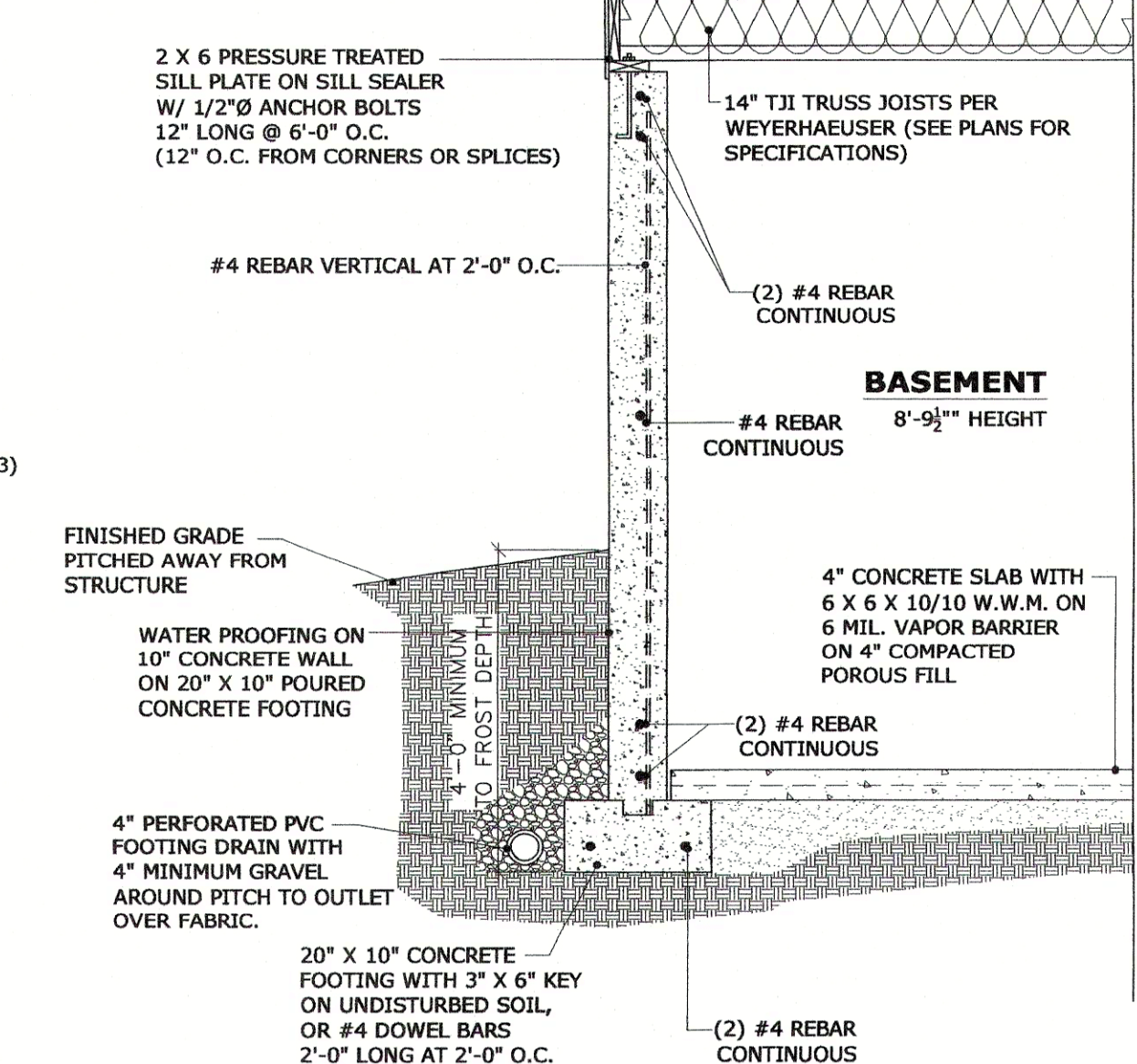
SECTION THRU STUDY
Scale: 1/4" = 1'-0"



SECTION THRU MUD ENTRY
Scale: 1/4" = 1'-0"



EXTERIOR WALL R-VALUE COMPOSITION
N.T.S.

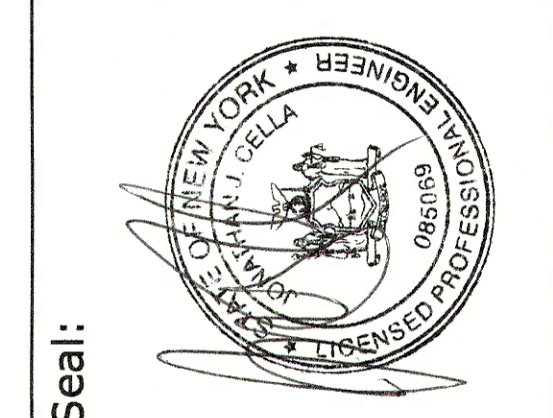


TYPICAL WALL DETAIL
Scale: 1/2" = 1'-0"

NOTE: ALL CONCRETE WORK SHALL CONFORM TO THE LATEST REVISIONS OF THE ACI332 OR EQUIVALENT.

Project Title:
RESIDENCE FOR NIKO ATONAKOS & MELINDA NEZAJ LAKE SIDE ESTATES, LOT #3 TOWN OF BEEKMAN, NY DUTCHESS COUNTY

Sheet Title:
SECTIONS & TYPICAL WALL DETAIL



Designer/ Engineer:
Jonathan Cella, P.E.
51 Hunt Road
Walkill, New York, 12589
(845) 741-0363
N.Y.S. P.E. License #: 085069

Date:
8/30/2021

Sheet Number:
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